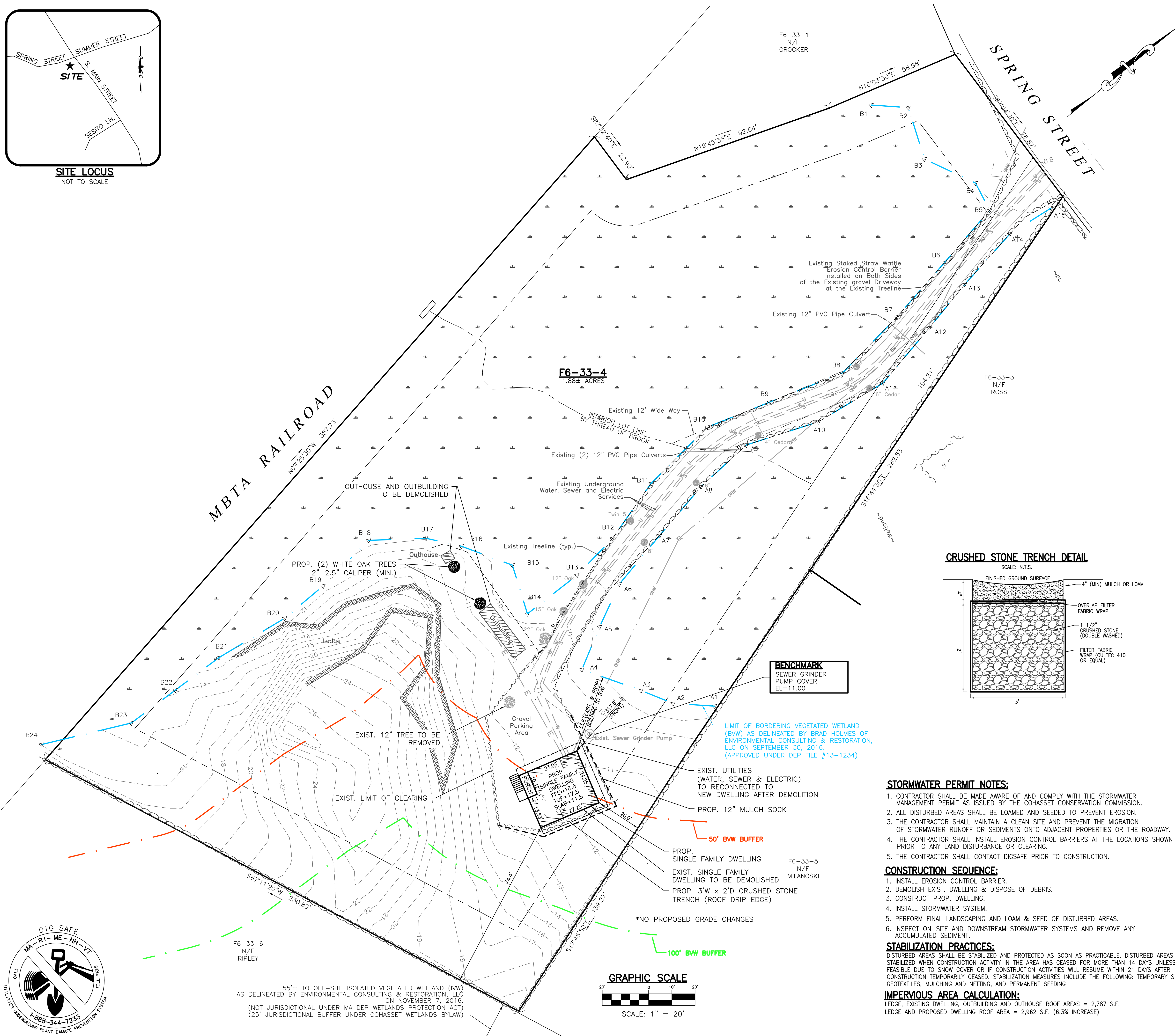
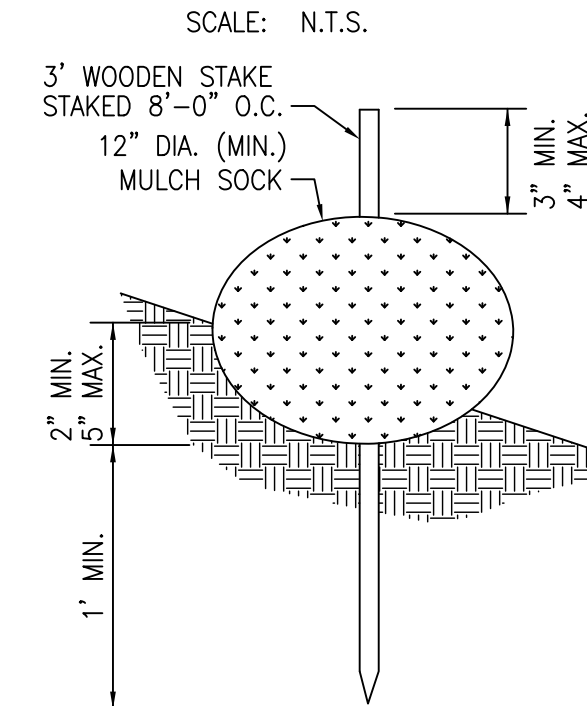


SITE LOCUS
NOT TO SCALE

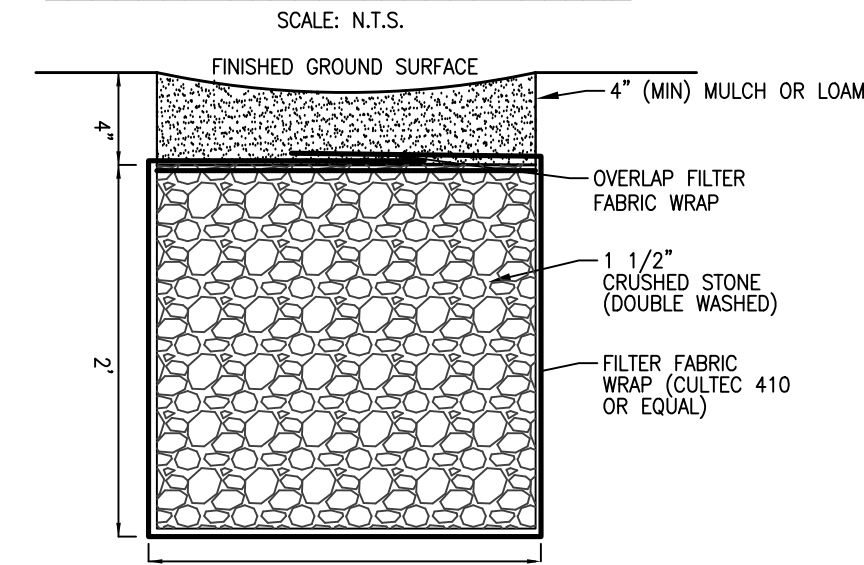


STAKED MULCH SOCK DETAIL



NOTE: A MULCH SOCK SHALL BE PLACED ALONG THE DOWN-GRADE LIMIT OF WORK/CLEARING PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. THE INTEGRITY OF THE EROSION CONTROL BARRIER SHALL BE MAINTAINED BY PERIODIC INSPECTION AND REPLACEMENT AS NECESSARY. THE EROSION CONTROL BARRIER SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN LOAMED AND SEEDED AND VEGETATION HAS BEEN ESTABLISHED.

CRUSHED STONE TRENCH DETAIL



ZONING TABLE

RESIDENCE B ZONE	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	35,000 S.F.	81,986 S.F.	NO CHANGE
FRONTAGE (FT.)	50'	76.87'	NO CHANGE
LOT WIDTH (FT.)	125'	215.4'	NO CHANGE
FRONT YARD SETBACK (FT.)	30'	317.5'	317.6'
SIDE YARD SETBACK (FT.)	20'	19.8'	20.0'
REAR YARD SETBACK (FT.)	30'	82.5'	74.4'

GENERAL NOTES:

- DEED REFERENCES: NORFOLK COUNTY REGISTRY OF DEEDS
LAND COURT CERT. #209095
- PLAN REFERENCES: LAND COURT PLAN NO. 30771A
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET "RESIDENCE B" ZONING DISTRICT
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF COHASSET FLOOD PLAN & WATERSHED PROTECTION DISTRICT.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET WATER RESOURCE PROTECTION DISTRICT.
- THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. IN OCTOBER 2016 AND SUPPLEMENTED THROUGH 2022.
- ALL KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT ARE SHOWN.
- THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 0256F DATED 7/6/2021.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.

STORMWATER PERMIT NOTES:

- CONTRACTOR SHALL BE MADE AWARE OF AND COMPLY WITH THE STORMWATER MANAGEMENT PERMIT AS ISSUED BY THE COHASSET CONSERVATION COMMISSION.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED TO PREVENT EROSION.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN SITE AND PREVENT THE MIGRATION OF STORMWATER RUNOFF OR SEDIMENTS ONTO ADJACENT PROPERTIES OR THE ROADWAY.
- THE CONTRACTOR SHALL INSTALL EROSION CONTROL BARRIERS AT THE LOCATIONS SHOWN PRIOR TO ANY LAND DISTURBANCE OR CLEARING.
- THE CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL EROSION CONTROL BARRIER.
- DEMOLISH EXIST. DWELLING & DISPOSE OF DEBRIS.
- CONSTRUCT PROP. DWELLING.
- INSTALL STORMWATER SYSTEM.
- PERFORM FINAL LANDSCAPING AND LOAM & SEED OF DISTURBED AREAS.
- INSPECT ON-SITE AND DOWNSTREAM STORMWATER SYSTEMS AND REMOVE ANY ACCUMULATED SEDIMENT.

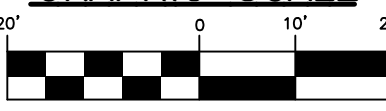
STABILIZATION PRACTICES:

DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED AS SOON AS PRACTICABLE. DISTURBED AREAS SHALL BE STABILIZED WHEN CONSTRUCTION ACTIVITY IN THE AREA HAS CEASED FOR MORE THAN 14 DAYS UNLESS NOT FEASIBLE DUE TO SNOW COVER OR IF CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS AFTER CONSTRUCTION TEMPORARILY CEASED. STABILIZATION MEASURES INCLUDE THE FOLLOWING: TEMPORARY SEEDING, GEOTEXTILES, MULCHING AND NETTING, AND PERMANENT SEEDING

IMPERVIOUS AREA CALCULATION:

LEDGE, EXISTING DWELLING, OUTBUILDING AND OUTHOUSE ROOF AREAS = 2,787 S.F.
LEDGE AND PROPOSED DWELLING ROOF AREA = 2,962 S.F. (6.3% INCREASE)

GRAPHIC SCALE



SCALE: 1" = 20'

55'± TO OFF-SITE ISOLATED VEGETATED WETLAND (IWW) AS DELINEATED BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON NOVEMBER 7, 2016. (NOT JURISDICTIONAL UNDER MA DEP WETLANDS PROTECTION ACT) (25' JURISDICTIONAL BUFFER UNDER COHASSET WETLANDS BYLAW)



	PREPARED BY:	
	PROJECT:	
DESIGN:	JDG	
CHECK:	GJM	
JOB NO:	16-419	
DATE:	3/6/23	
REV:		
PLAN TITLE:	PLAN TO ACCOMPANY CONSERVATION FILING	
SHEET:	1 OF 1	