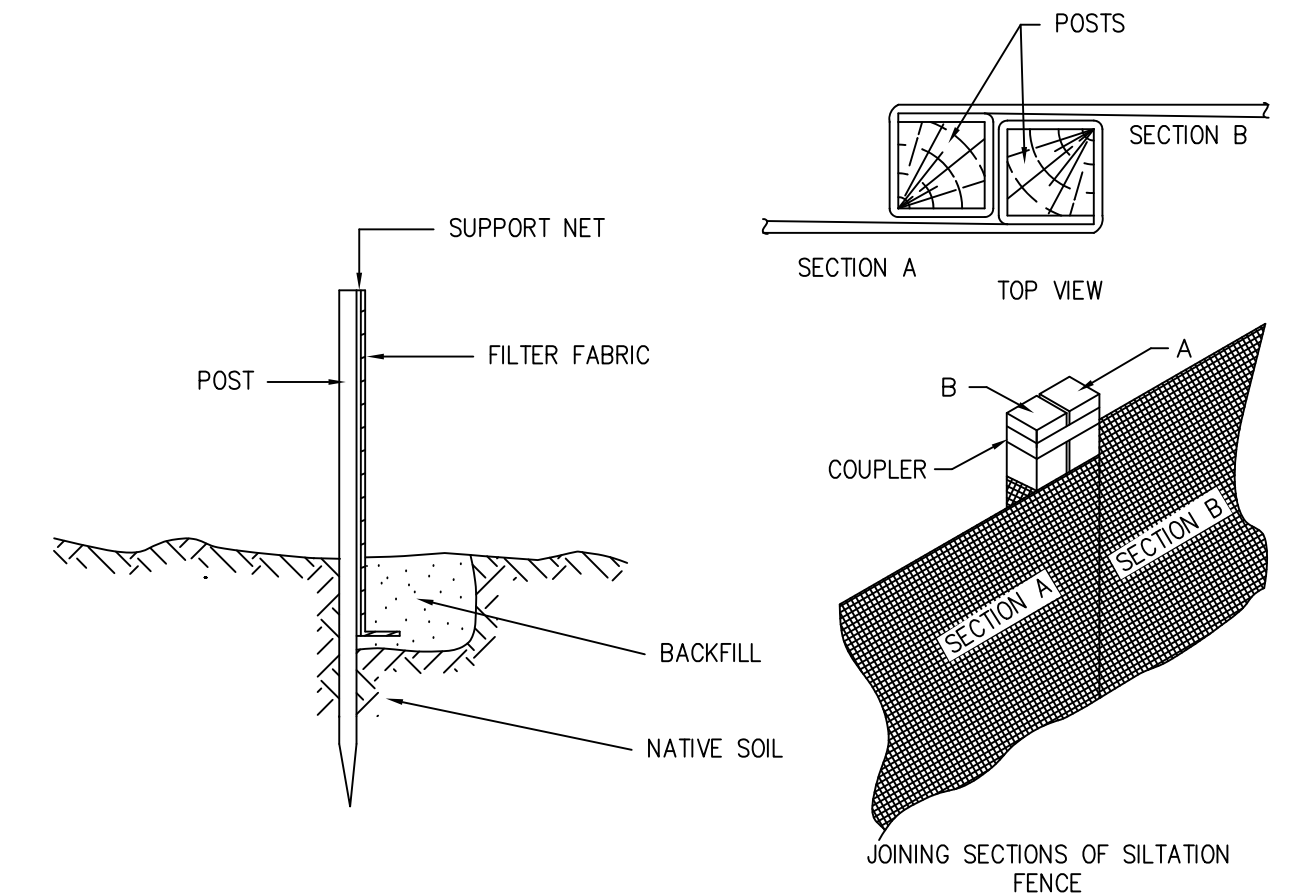


SITE LOCUS
NOT TO SCALE



TREE GATOR EXAMPLE



SILTATION FENCE

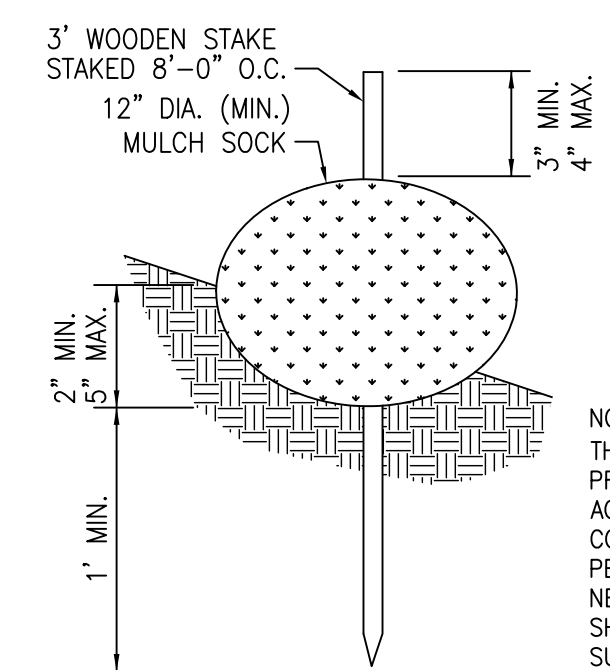
SCALE: N.T.S.

CONSTRUCTION NOTES:

- 1) WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- 2) FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- 3) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
- 4) MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

STAKED MULCH SOCK DETAIL

SCALE: N.T.S.



NOTE: A MULCH SOCK SHALL BE PLACED ALONG THE DOWN-GRADE LIMIT OF WORK/CLEARING PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. THE INTEGRITY OF THE EROSION CONTROL BARRIER SHALL BE MAINTAINED BY PERIODIC INSPECTION AND REPLACEMENT AS NECESSARY. THE EROSION CONTROL BARRIER SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN LOAMED AND SEEDED AND VEGETATION HAS BEEN ESTABLISHED.

ZONING TABLE

	REQUIRED	EXISTING	PROPOSED
RESIDENCE B ZONE			
MIN. LOT AREA:	35,000 S.F.	81,986 S.F.	NO CHANGE
FRONTAGE (FT.)	50'	76.87'	NO CHANGE
LOT WIDTH (FT.)	125'	215.4'	NO CHANGE
FRONT YARD SETBACK (FT.)	30'	317.5'	317.6'
SIDE YARD SETBACK (FT.)	20'	19.8'	20.0'
REAR YARD SETBACK (FT.)	30'	82.5'	74.4'

GENERAL NOTES:

1. DEED REFERENCES: NORFOLK COUNTY REGISTRY OF DEEDS LAND COURT CERT. #209095
2. PLAN REFERENCES: LAND COURT PLAN NO. 30771A
3. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET "RESIDENCE B" ZONING DISTRICT
4. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF COHASSET FLOOD PLAN & WATERSHED PROTECTION DISTRICT.
5. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET WATER RESOURCE PROTECTION DISTRICT.
6. THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. IN OCTOBER 2016 AND SUPPLEMENTED THROUGH 2022.
7. ALL KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT ARE SHOWN.
8. THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 0256F DATED 7/6/2021.
9. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
10. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY
11. UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.

STORMWATER PERMIT NOTES:

1. CONTRACTOR SHALL BE MADE AWARE OF AND COMPLY WITH THE STORMWATER MANAGEMENT PERMIT AS ISSUED BY THE COHASSET CONSERVATION COMMISSION.
2. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED TO PREVENT EROSION.
3. THE CONTRACTOR SHALL MAINTAIN A CLEAN SITE AND PREVENT THE MIGRATION OF STORMWATER RUNOFF OR SEDIMENTS ONTO ADJACENT PROPERTIES OR THE ROADWAY.
4. THE CONTRACTOR SHALL INSTALL EROSION CONTROL BARRIERS AT THE LOCATIONS SHOWN PRIOR TO ANY LAND DISTURBANCE OR CLEARING.
5. THE CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONSTRUCTION.

CONSTRUCTION SEQUENCE:

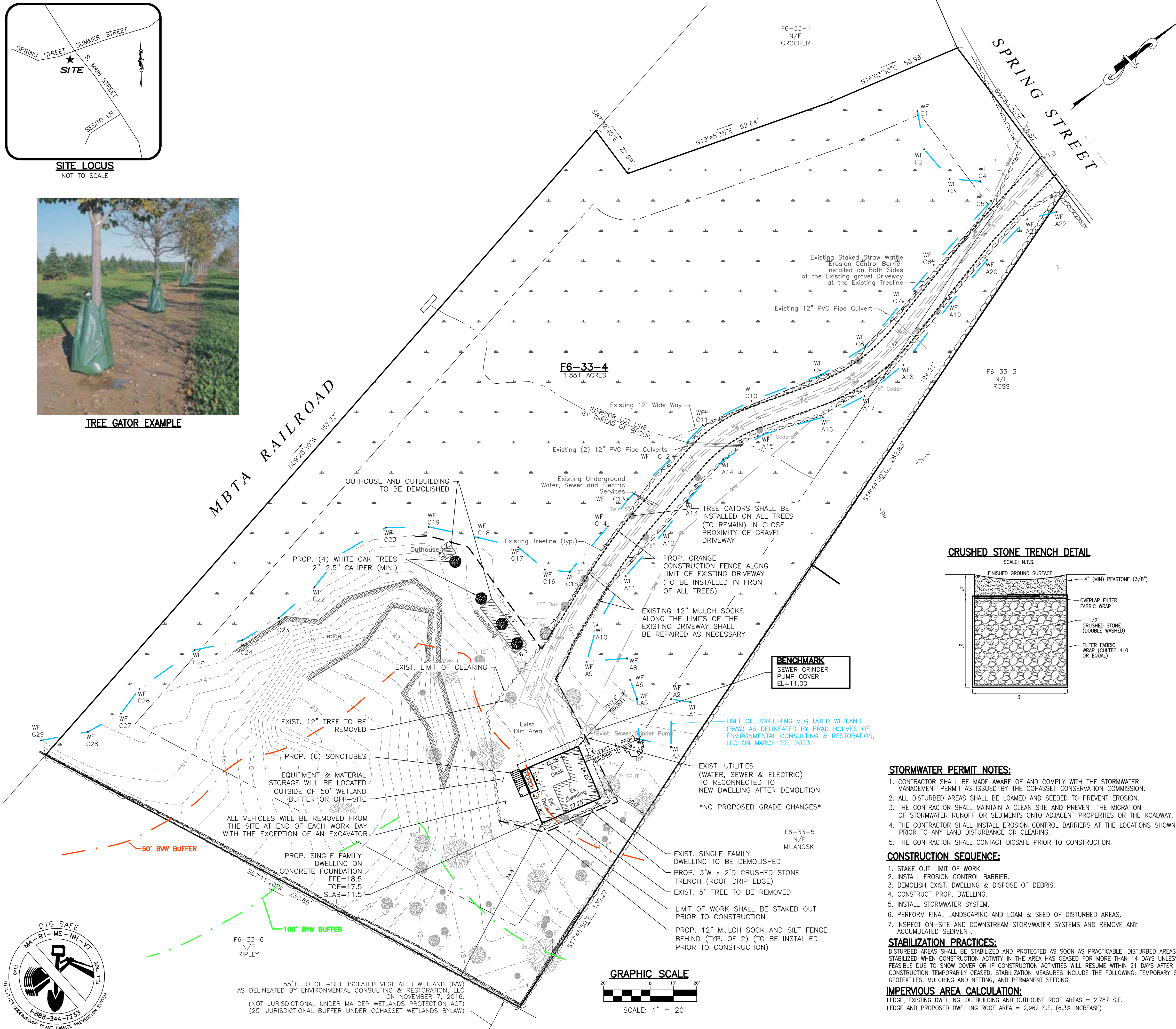
1. STAKE OUT LIMIT OF WORK.
2. INSTALL EROSION CONTROL BARRIER.
3. DEMOLISH EXIST. DWELLING & DISPOSE OF DEBRIS.
4. CONSTRUCT PROP. DWELLING.
5. INSTALL STORMWATER SYSTEM.
6. PERFORM FINAL LANDSCAPING AND LOAM & SEED OF DISTURBED AREAS.
7. INSPECT ON-SITE AND DOWNSTREAM STORMWATER SYSTEMS AND REMOVE ANY ACCUMULATED SEDIMENT.

STABILIZATION PRACTICES:

DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED AS SOON AS PRACTICABLE. DISTURBED AREAS SHALL BE STABILIZED WHEN CONSTRUCTION ACTIVITY IN THE AREA HAS CEASED FOR MORE THAN 14 DAYS UNLESS NOT FEASIBLE DUE TO SNOW COVER OR IF CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS AFTER CONSTRUCTION TEMPORARILY CEASED. STABILIZATION MEASURES INCLUDE THE FOLLOWING: TEMPORARY SEEDING, GEOTEXTILES, MULCHING AND NETTING, AND PERMANENT SEEDING

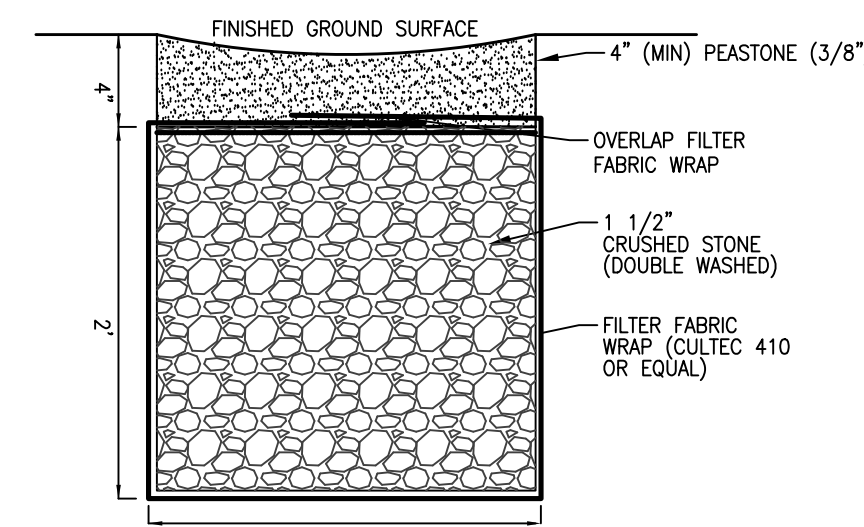
IMPERVIOUS AREA CALCULATION:

LEDGE, EXISTING DWELLING, OUTBUILDING AND OUTHOUSE ROOF AREAS = 2,787 S.F.
LEDGE AND PROPOSED DWELLING ROOF AREA = 2,962 S.F. (6.3% INCREASE)

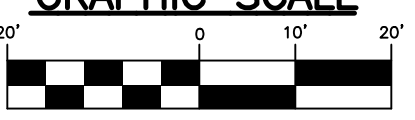


CRUSHED STONE TRENCH DETAIL

SCALE: N.T.S.



GRAPHIC SCALE



SCALE: 1" = 20'



55'± TO OFF-SITE ISOLATED VEGETATED WETLAND (IWW) AS DELINEATED BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON NOVEMBER 7, 2016. (NOT JURISDICTIONAL UNDER MA DEP WETLANDS PROTECTION ACT) (25' JURISDICTIONAL BUFFER UNDER COHASSET WETLANDS BYLAW)

REV. 3/15/23: PER CONSERVATION AGENT COMMENTS
REV. 4/20/23: PER CONSERVATION COMMISSION COMMENTS

	PREPARED BY:		DESIGN:	JDG
	PROJECT:		PROPOSED RAZE & REBUILD 83 SPRING STREET (ASSESSOR'S PARCEL: F6-33-4) COHASSET, MASSACHUSETTS	CHECK:
	APPLICANT:	DAVID WON REVOCABLE TRUST 20 MEADOW BROOK ROAD NORWELL, MA 02061	JOB NO:	16-419
	PLAN TITLE:	PLAN TO OBTAIN COMPANY CONSERVATION FILING	DATE:	3/6/23
			REV:	3/15/23 4/20/23
			SHEET:	1 OF 1