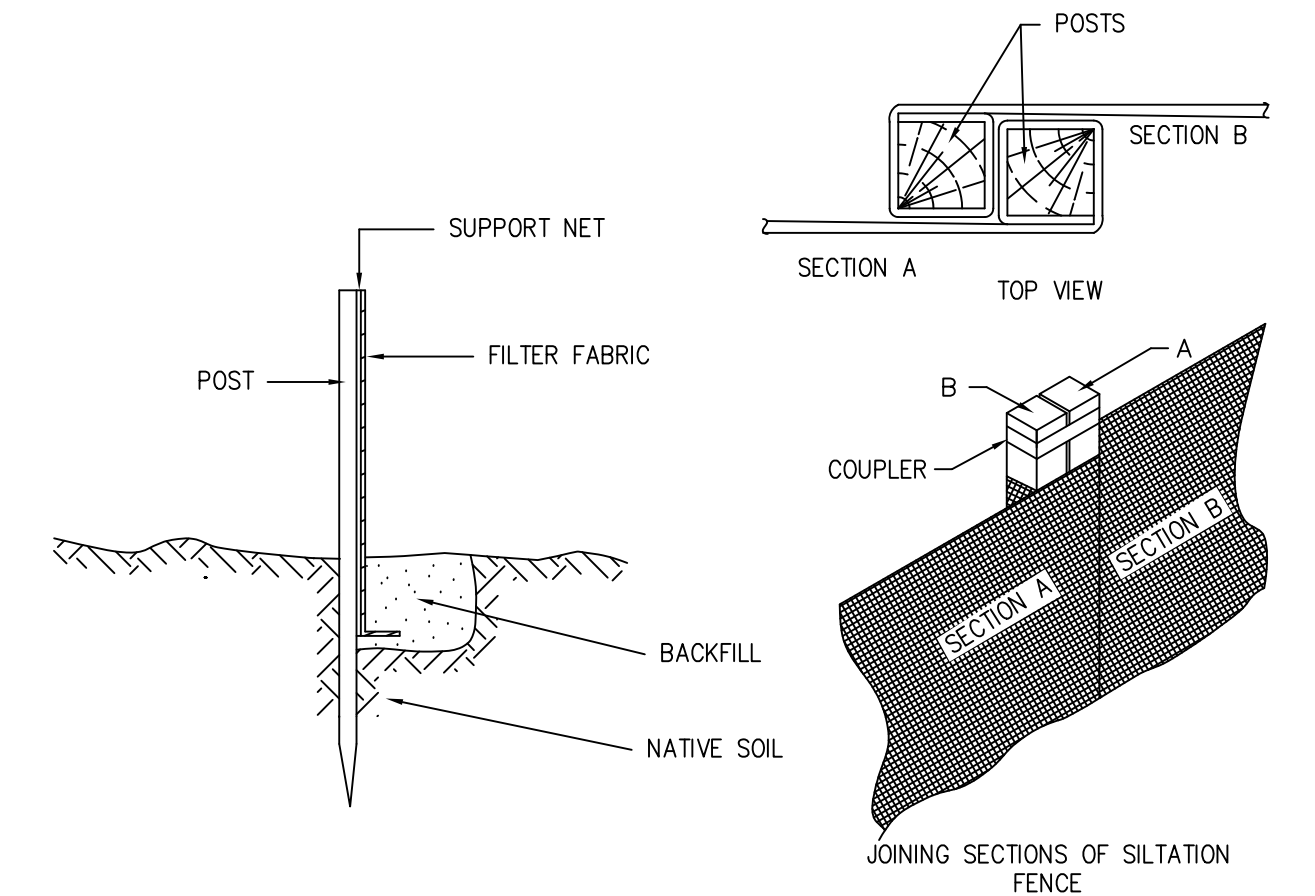


SITE LOCUS
NOT TO SCALE



TREE GATOR EXAMPLE



SILTATION FENCE

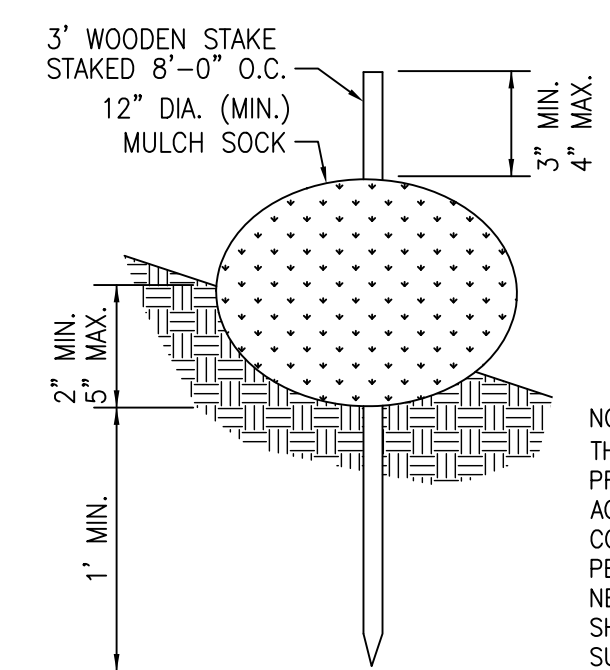
SCALE: N.T.S.

CONSTRUCTION NOTES:

- 1) WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- 2) FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- 3) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
- 4) MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

STAKED MULCH SOCK DETAIL

SCALE: N.T.S.



NOTE: A MULCH SOCK SHALL BE PLACED ALONG THE DOWN-GRADIENT LIMIT OF WORK/CLEARING PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. THE INTEGRITY OF THE EROSION CONTROL BARRIER SHALL BE MAINTAINED BY PERIODIC INSPECTION AND REPLACEMENT AS NECESSARY. THE EROSION CONTROL BARRIER SHALL REMAIN IN PLACE UNTIL ALL DISTURBED SURFACES HAVE BEEN LOAMED AND SEEDED AND VEGETATION HAS BEEN ESTABLISHED.

ZONING TABLE

	REQUIRED	EXISTING	PROPOSED
RESIDENCE B ZONE			
MIN. LOT AREA:	35,000 S.F.	81,986 S.F.	NO CHANGE
FRONTAGE (FT.)	50'	76.87'	NO CHANGE
LOT WIDTH (FT.)	125'	215.4'	NO CHANGE
FRONT YARD SETBACK (FT.)	30'	317.5'	361.9'
SIDE YARD SETBACK (FT.)	20'	19.8'	22.0'
REAR YARD SETBACK (FT.)	30'	82.5'	36.8'

GENERAL NOTES:

1. DEED REFERENCES: NORFOLK COUNTY REGISTRY OF DEEDS LAND COURT CERT. #209095
2. PLAN REFERENCES: LAND COURT PLAN NO. 30771A
3. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET "RESIDENCE B" ZONING DISTRICT
4. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF COHASSET FLOOD PLAN & WATERSHED PROTECTION DISTRICT.
5. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET WATER RESOURCE PROTECTION DISTRICT.
6. THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. IN OCTOBER 2016 AND SUPPLEMENTED THROUGH 2022.
7. ALL KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT ARE SHOWN.
8. THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 0256F DATED 7/6/2021.
9. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
10. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY
11. UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.

REV. 3/15/23: PER CONSERVATION AGENT COMMENTS
REV. 4/20/23: PER CONSERVATION COMMISSION COMMENTS
REV. 5/18/23: PER CONSERVATION COMMISSION COMMENTS

	PREPARED BY:	
	PROJECT:	
DESIGN:		JDG
CHECK:		GJM
JOB NO:		16-419
DATE:		3/6/23
REV:		3/15/23 4/20/23 5/18/23
PLAN TITLE:		PLAN TO ACCOMPANY CONSERVATION FILING
SHEET:		1 OF 1

